

Case No. 25PL054

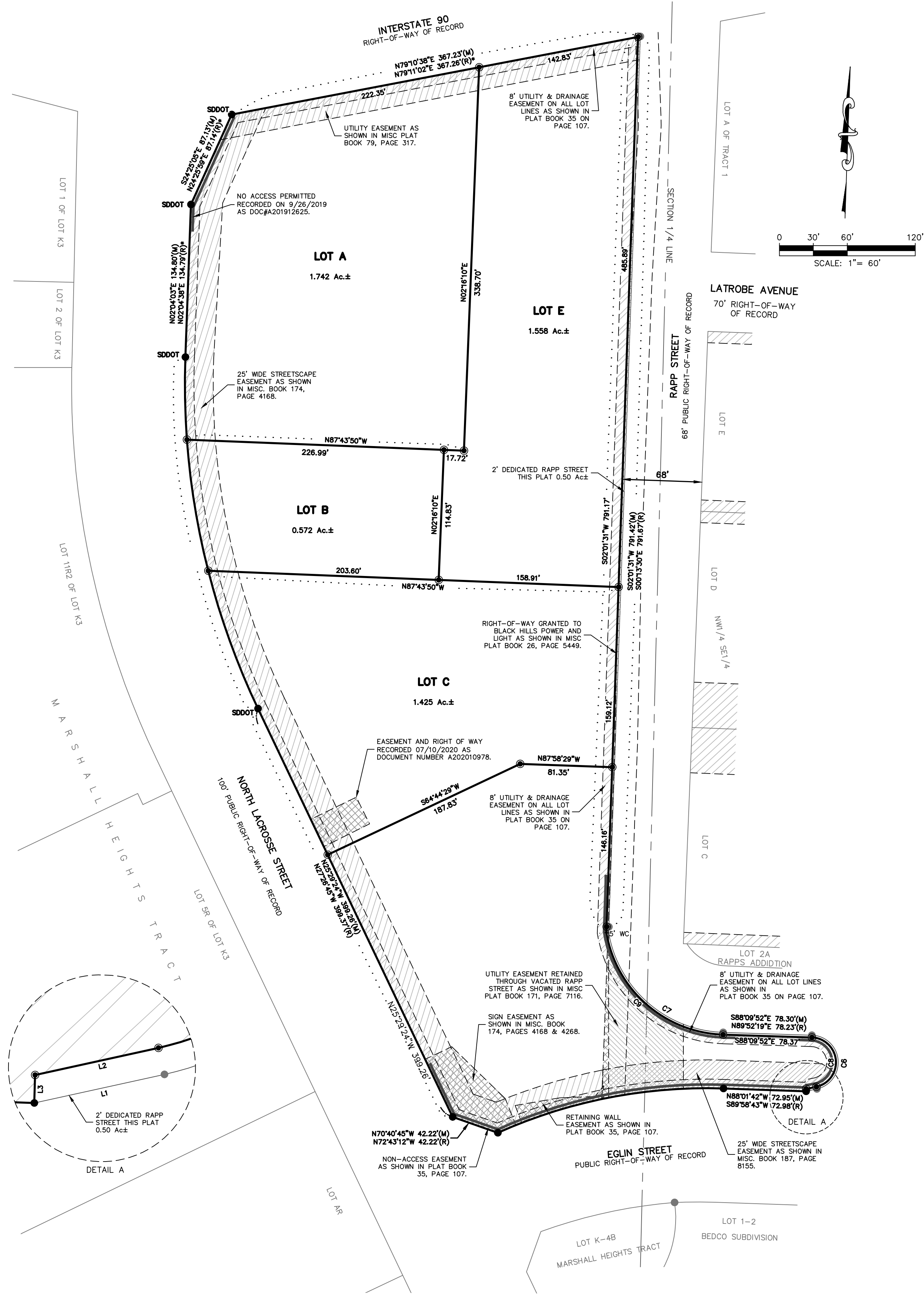
Existing Legal Description:

Lot K-44 excepting therefrom Lot H1, Marshall Heights Tract, located in the NE1/4 of the SW1/4 and the NW1/4 of the SE1/4, Section 30, T2N, R8E, BHM, Rapid City, Pennington County, South Dakota

Proposed Legal Description:

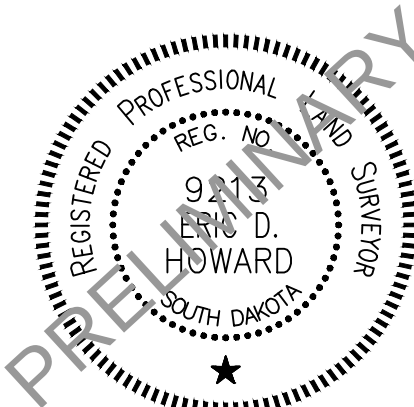
Lots A-E of Lot K-4A of Marshall Heights Tract Subdivision

PLAT OF
LOTS A-E OF LOT K-4A
OF MARSHALL HEIGHTS TRACT SUBDIVISION, & RAPP STREET RIGHT-OF-WAY
(formerly Lot K-4A, excepting therefrom Lot H1, MARSHALL HEIGHTS TRACT)
LOCATED IN THE NE1/4 SW1/4 AND NW1/4 SE1/4, SECTION 30, T2N, R8E, BHM,
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



NOTES:
UTILITY AND MINOR DRAINAGE EASEMENTS: 8' ON THE INTERIOR SIDES OF ALL LOT LINES.
ANY MAJOR DRAINAGE EASEMENT SHOWN HEREON SHALL BE KEPT FREE OF ALL OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS, FENCES, HEDGES, TREES AND SHRUBS. THESE EASEMENTS GRANT TO ALL PUBLIC AUTHORITIES THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, INSPECT, AND REPAIR SUCH IMPROVEMENTS AND STRUCTURES AS IT DEEMS EXPEDIENT TO FACILITATE DRAINAGE FROM ANY SOURCE.
LEGEND
● Denotes Found Survey Monument marked LS 3977, unless otherwise noted
(R) Denotes Recorded in previous plat or description.
(M) Denotes Measured in this survey.

BASIS OF BEARINGS: SOUTH DAKOTA STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD83(2011), FROM RAPID CITY CONTROL POINT SYSTEM.



Line Table			Curve Table					
Line #	Length	Direction	Curve #	Length	Radius	Delta	Chord Direction	Chord Length
L1 (M)	9.79'	S77°36'16"W	C1	73.00'	666.31'	6°16'37"	N1°03'28"W	72.96'
L1 (R)	9.78'	S75°18'49"W	C2	117.34'	666.31'	10°05'23"	N9°14'29"W	117.19'
L2	9.28'	S77°36'17"W	C3	129.56'	666.31'	11°08'28"	N19°51'24"W	129.36'
L3	2.06'	S01°32'25"W	C4 (M)	319.90'	666.31'	27°30'29"	N11°40'24"W	316.84'
			C4 (R)	319.93'	666.31'	27°30'39"	N13°39'56"W	316.86'
			C5 (M)	204.71'	450.00'	26°03'52"	S78°53'48"W	202.95'
			C5 (R)	204.69'	450.00'	26°03'45"	S76°56'51"E	202.93'
			C6 (M)	69.32'	24.00'	165°29'30"	S05°20'31"E	47.62'
			C6 (R)	69.30'	24.00'	165°26'30"	S07°24'26"E	47.61'
			C7 (M)	145.20'	106.00'	78°29'09"	S48°55'00"E	134.13'
			C7 (R)	145.18'	106.00'	78°28'16"	S50°53'33"E	134.09'
			C8	63.49'	22.00'	165°20'21"	S05°14'40"E	43.64'
			C9	148.12'	108.11'	78°29'44"	S48°51'44"E	136.80'

25PL050

PLAT OF
LOT A–E OF LOT K–4A
OF MARSHALL HEIGHTS TRACT SUBDIVISION, & RAPP STREET RIGHT–OF–WAY
(formerly Lot K–4A, excepting therefrom Lot H1, MARSHALL HEIGHTS TRACT)
LOCATED IN THE NE1/4 SW1/4 AND NW1/4 SE1/4, SECTION 30, T2N, R8E, BHM,
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA

CERTIFICATE OF OWNERSHIP

State of South Dakota
County of Pennington S.S.

I/We, the undersigned, do hereby certify that we are the owners of the tract of land shown and described hereon, that the survey was done at our request for the purposes indicated hereon, and that we do hereby approve the survey and within plat of said land, and that development of this land shall conform to all existing applicable zoning, subdivision, and erosion and sediment control regulations.

Any land shown on the within plat as dedicated to public right–of–way is hereby dedicated to public use and public utility use as such forever, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, we have set our hand and seal.

OWNER _____
BY: _____

OWNER _____
BY: _____

On this _____ day of _____, 20____, before me, a Notary Public, personally appeared _____, known to me to be the persons described in the foregoing instrument and acknowledged to me that they signed the same.

NOTARY PUBLIC: _____

My commission expires: _____

CERTIFICATE OF COMMUNITY DEVELOPMENT DIRECTOR

I, Community Development Director of the City of Rapid City, have reviewed this plat and have found it to conform to the Subdivision requirements of Chapter 16.08.080 of the Rapid City Municipal Code and as such I have approved the Plat as Final Plat.

Dated this _____ day of _____, 20____.

Community Development Director of the City of Rapid City

CERTIFICATE OF FINANCE DIRECTOR

I, Finance Director of the City of Rapid City, do hereby certify that the Community Development Director of the City of Rapid City, has approved this Final Plat as shown hereon.

Dated this _____ day of _____, 20____.

Finance Director of the City of Rapid City

CERTIFICATE OF HIGHWAY OR STREET AUTHORITY

The location of the proposed lot lines with respect to the Highway or Street as shown hereon is hereby approved. Any approaches or access to the Highway or Street will require additional approval.

Dated this _____ day of _____, 20____.

Quartz Canyon Road District

CERTIFICATE OF FINANCE DIRECTOR

I, Finance Director of the City of Rapid City, do hereby certify that all special assessments which are liens upon the within described lands are fully paid according to the records of my office.

Dated this _____ day of _____, 20____.

Finance Director of the City of Rapid City



CERTIFICATE OF SURVEYOR

State of South Dakota
County of Pennington S.S.

I, Eric D. Howard, Registered Land Surveyor No. 9213 in the State of South Dakota, do hereby certify that at the request of the owners listed hereon, I have surveyed the tract of land shown, and to the best of my knowledge and belief, the within plat is a representation of said survey. Easements or restrictions of miscellaneous record or private agreements that are not known to me are not shown hereon.

In witness whereof, I have hereunto set my hand and seal.

Eric D. Howard, Registered Land Surveyor Date: _____

CERTIFICATE OF COUNTY TREASURER

I, Treasurer of Pennington County, do hereby certify that all taxes which are liens upon the within described lands are fully paid according to the records of my office.

Dated this _____ day of _____, 20____.

Treasurer of Pennington County

CERTIFICATE OF DIRECTOR OF EQUALIZATION

I, Director of Equalization of Pennington County, do hereby certify that I have on record in my office a copy of the within described plat.

Dated this _____ day of _____, 20____.

Director of Equalization of Pennington County

APPROVED: _____ Date: _____

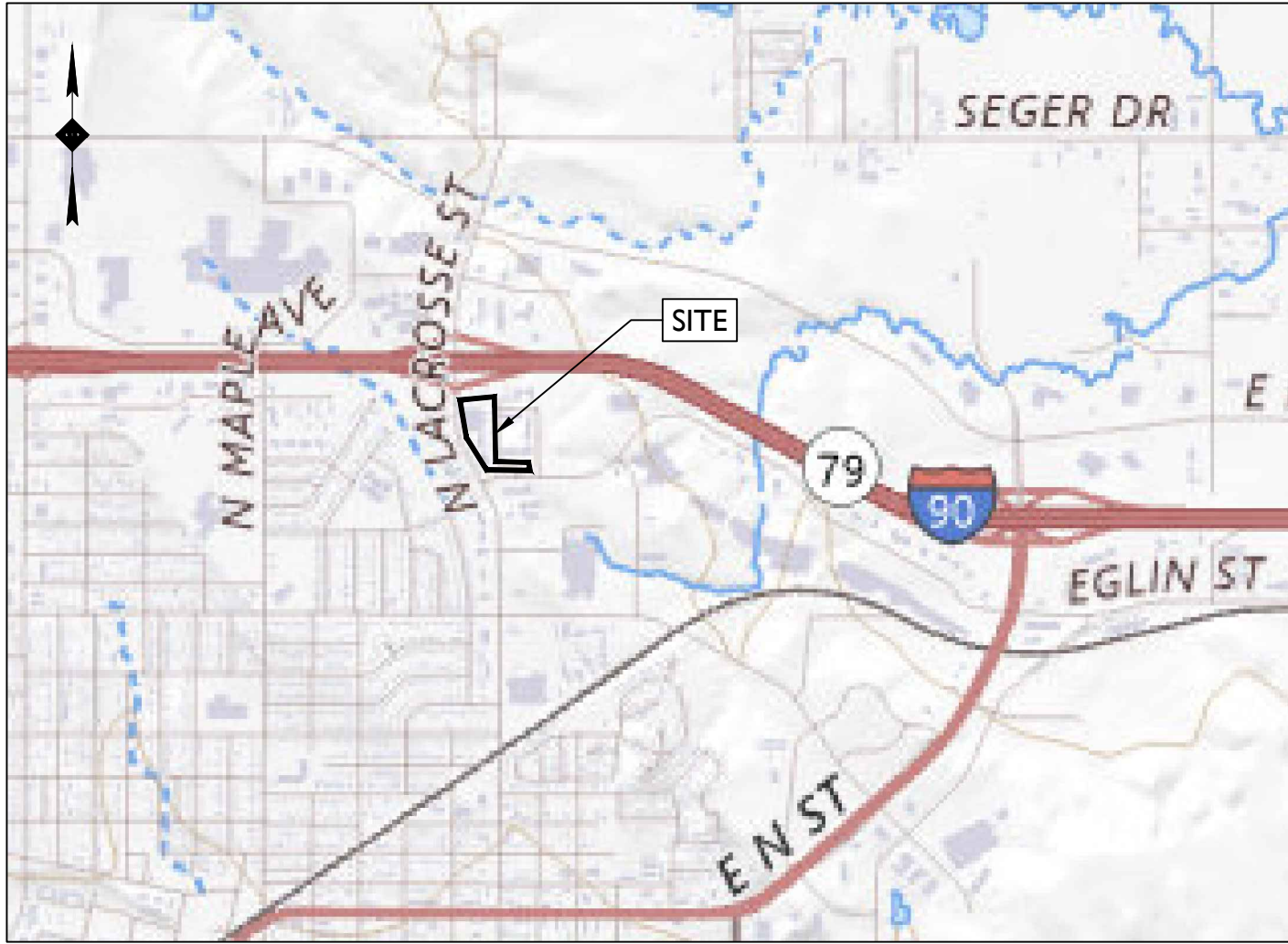
CERTIFICATE OF REGISTER OF DEEDS

State of South Dakota
County of Pennington S.S.

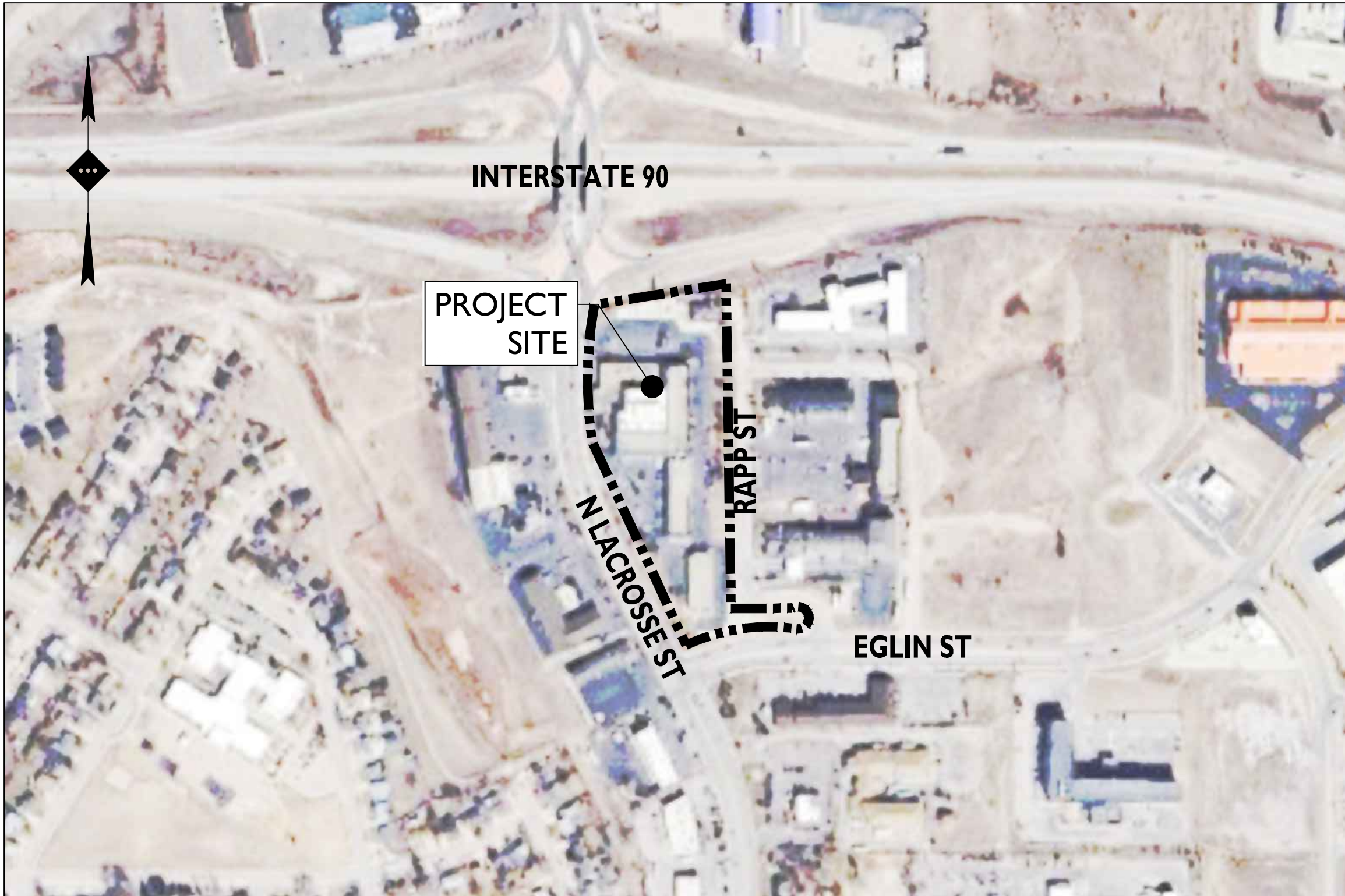
Filed this _____ day of _____, 20____, at ____o'clock ____M.,

Document Number _____

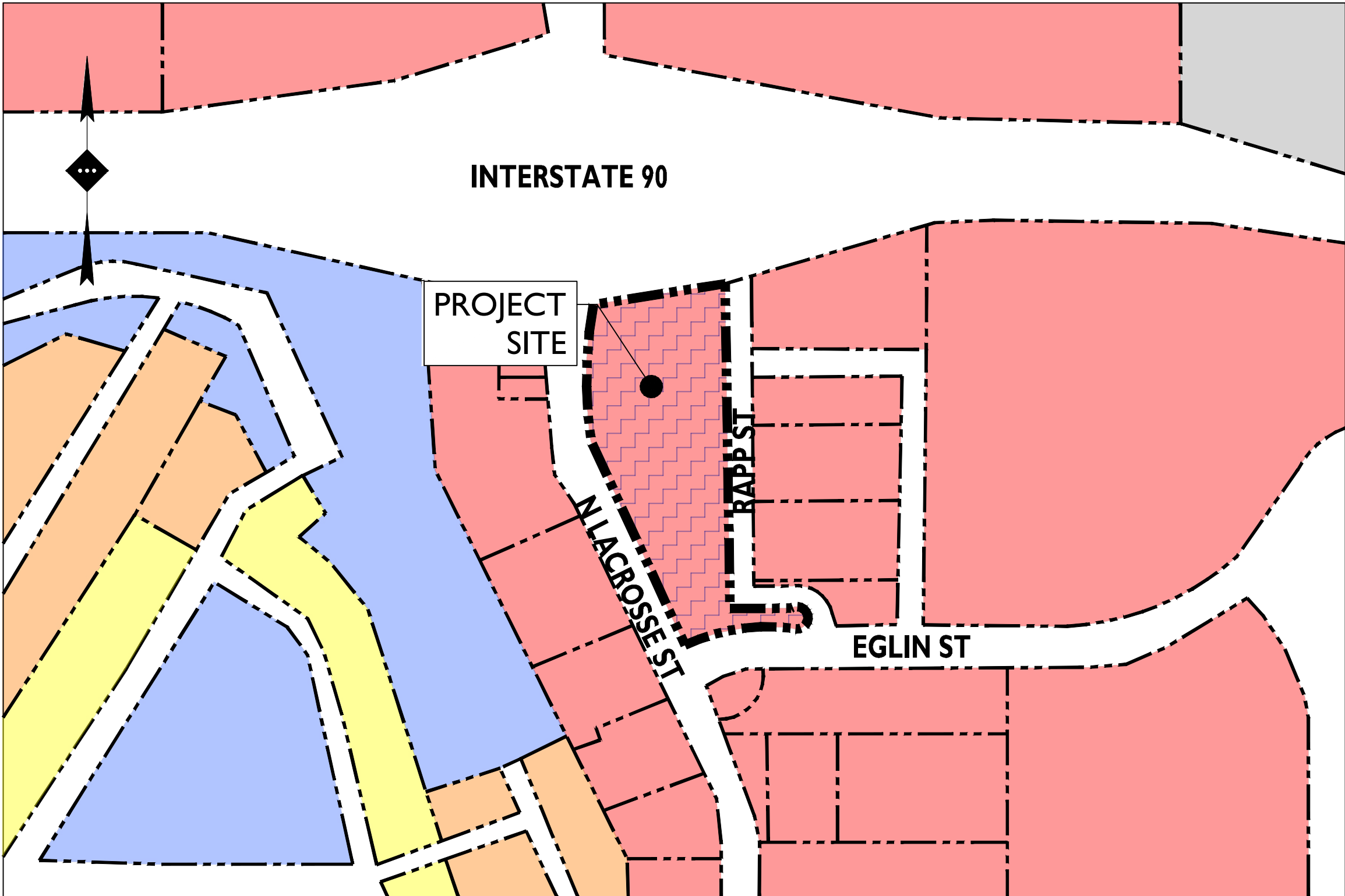
Register of Deeds Fee: \$ _____



LOCATION MAP
SCALE: 1" = 2,000'±



AERIAL MAP
SCALE: 1" = 300'±

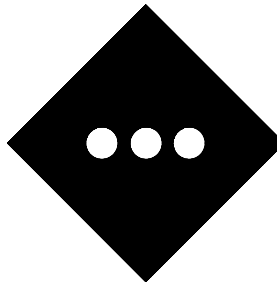


ZONING MAP
SCALE: 1" = 300'±

PLANS PREPARED BY:



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SITE DEVELOPMENT PLANS FOR PROPOSED COMMERCIAL DEVELOPMENT

PID: 2130328002
1902 N LACROSSE STREET
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA 57701

APPLICANT

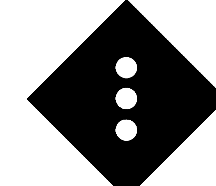
AMM RAPID CITY LLC
30200 TELEGRAPH RD, SUITE 205
BINGHAM FARMS, MI 48025
563-593-1104
JORDAN@ALRIGUSA.COM

OWNER

KHAN HOTEL SD LLC
1902 N LACTOSSE SE
RAPID CITY, SD 57701
605-389-4435
ZEEKHAN@PAKHOTELSGROUP.COM

SITE DEVELOPMENT PLANS		DESCRIPTION
1	06/12/2025	BY
1	06/12/2025	DATE
1	06/12/2025	ISSUE

NOT APPROVED FOR CONSTRUCTION

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Phone 248.247.1115

SITE DEVELOPMENT PLANS

**PROPOSED COMMERCIAL
DEVELOPMENT**

PID: 2130328002
1902 N LACROSSE STREET
RAPID CITY
PENNINGTON COUNTY, SOUTH DAKOTA, 57701



SCALE: AS SHOWN PROJECT ID: DET-250076

TITLE:
COVER SHEET

DRAWING:
C-1

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
DEMOLITION PLAN	C-2
OVERALL SITE PLAN	C-3
OVERALL GRADING AND STORMWATER PLAN	C-4
PRE VS POST IMPERVIOUS SURFACE PLAN	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
LANDSCAPING PLANS	C-8 TO C-8.2

ADDITIONAL SHEETS	
DRAWING TITLE	SHEET #
ALTA/NSPS LAND TITLE SURVEY	1 OF 1

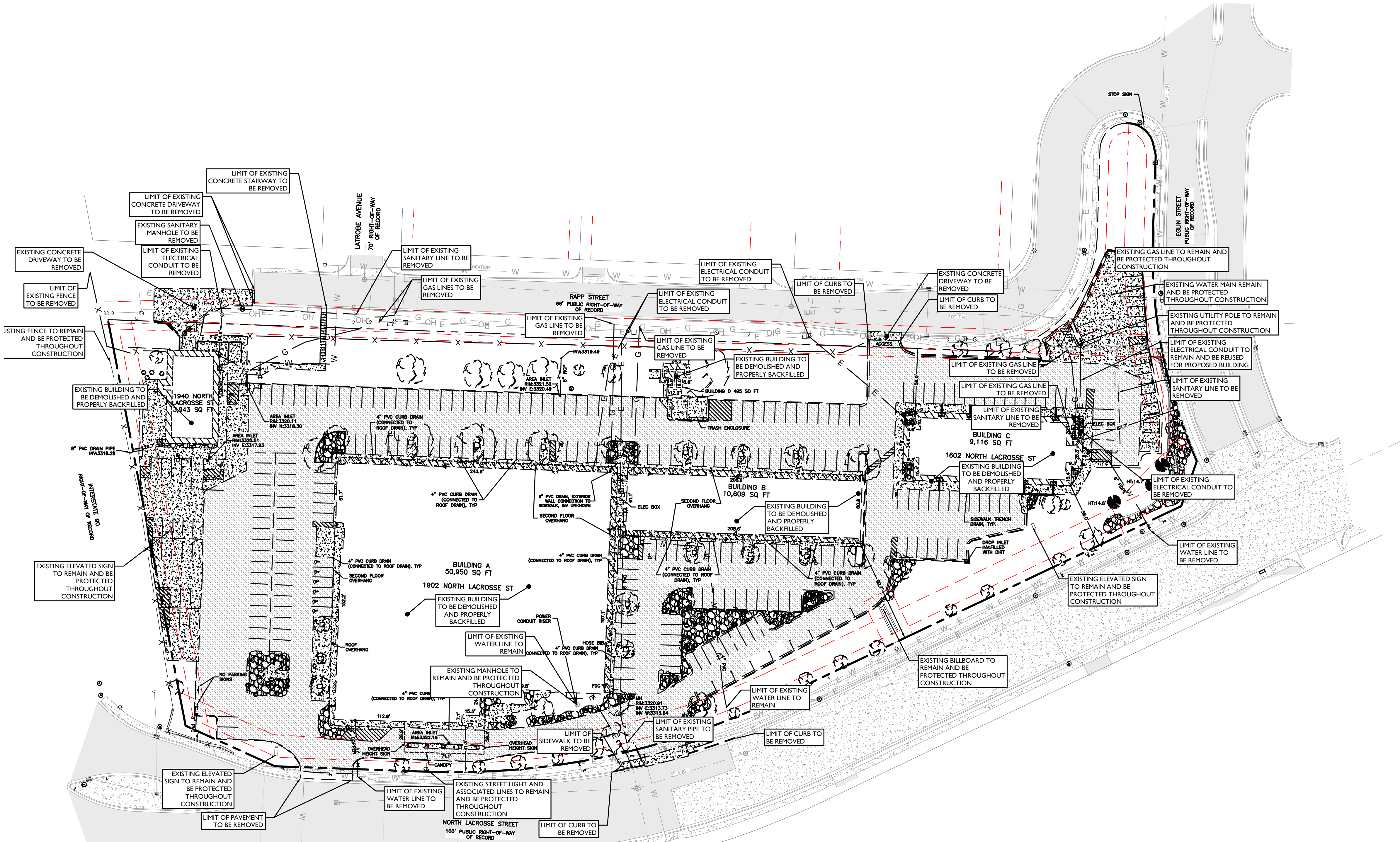
PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA/NSPS LAND TITLE SURVEY PREPARED BY RENNER ASSOCIATES LLC DATED: 04/02/2025
 - ARCHITECTURAL PLANS
 - GEOTECHNICAL REPORT
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
 - LOCATION MAP OBTAINED FROM USGS ONLINE MAPS
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

ALL SITE FEATURES WITHIN THE LIMIT OF THE PROPERTY INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS

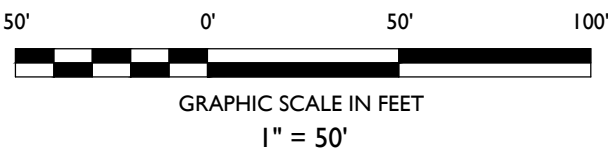
ALL SITE FEATURES OUTSIDE THE LIMIT OF THE PROPERTY INDICATED ON THIS PLAN ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS

SYMBOL	DESCRIPTION
	PROPERTY LINE
	FEATURE TO BE REMOVED / DEMOLISHED
	ASPHALT REMOVAL
	CONCRETE REMOVAL



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- DEMOLITION NOTES**
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
 5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



DATE	BY	DESCRIPTION
06/12/2025	MANH/AF	SITE DEVELOPMENT PLANS
1		ISSUE

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SITE DEVELOPMENT PLANS

**PROPOSED COMMERCIAL
DEVELOPMENT**

PID: 2130328002
1902 N LACROSSE STREET
RAPID CITY
PENNINGTON COUNTY, SOUTH DAKOTA, 57701

SCALE: 1" = 50' PROJECT ID: DET-250076

TITLE:
DEMOLITION PLAN

DRAWING:
C-2

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 17.50.270(D)	FAST FOOD RESTAURANT: 11 SPACES PER 1,000 SF GFA LOT A = (5,619 SF) ⁽¹⁾ (11 SPACES/1,000 SF) = 62 SPACES LOT B = (3,051 SF) ⁽²⁾ (11 SPACES/1,000 SF) = 34 SPACES LOT C = (3,617 SF) ⁽³⁾ (11 SPACES/1,000 SF) = 40 SPACES LOT E = (2,700 SF) ⁽³⁾ (11 SPACES/1,000 SF) = 30 SPACES TIRE SALES & SERVICE FACILITY: 4 SPACES PER 1,000 SF GFA ⁽¹⁾ LOT D = (10,119 SF) (4 SPACES/1,000 SF) = 40 SPACES TOTAL PARKING: 62 + 34 + 40 + 30 + 40 = 206 SPACES	231 SPACES OVERALL 7 SERVICE BAYS TOTAL: 238 SPACES
§ 17.50.270F.2	90° PARKING: 9 FT X 18 FT W/ 26 FT AISLE	9 FT X 18 FT W/ 26 FT AISLE
§ 17.50.270(D)	DRIVE THRU STACKING: 7 SPACES, NOT INCLUDING SPACE AT WINDOW	LOT A = 41 SPACES LOT B = 7 SPACES LOT C = 8 SPACES LOT E = 20 SPACES
§ 17.50.290(D/D)	MINIMUM STACKING SPACE LENGTH: 23 FT	23 FT
§ 17.50.290(A)	OFF-STREET LOADING: 1 SPACE, 12 FT X 40 FT W/ 14 FT CLEARANCE	TO OCCUR OFF HOURS
§ 17.50.300	LANDSCAPING ISLANDS: PARKING MUST BE 120 FT MAX FROM ISLANDS LANDSCAPING ISLAND MINIMUM AREA: 100 SF	PROVIDED PROVIDED

(1) 17.50.270(D) - SERVICE BAYS SHALL COUNT AS A PARKING SPACE
PATIO AREA IS INCLUDED IN RESTAURANT SQUARE FOOTAGE.
(2) LOT A = 5,304 SF BUILDING + 315 SF PATIO = 5,619 SF
LOT B = 2,385 SF BUILDING + 666 SF PATIO = 3,051 SF
LOT C = 2,927 SF BUILDING + 690 SF PATIO = 3,617 SF
LOT E = 2,700 SF BUILDING + 0 SF PATIO = 2,700 SF

SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 17.50.080(S)3.B	PERMITTED SIGNS PER STREET FRONTAGE: 1	PROVIDED
§ 17.50.080(S)3.A	MAXIMUM SIGN HEIGHT: 8 FT	TBD
§ 17.50.080(S)3.A	MAXIMUM SIGN AREA: 32 SF	TBD

(1) TABLE ABOVE IS SPECIFIC FOR GROUND SIGNS WITHIN 0 TO 50 FT OF THE ROW. HEIGHTS AND AREAS INCREASE WITH A GREATER DISTANCE FROM ROW.

LAND USE AND ZONING (LOT A)		
PID: 2130328002		
CURRENT ZONE: GENERAL COMMERCIAL DISTRICT (GC) WITH PUD OVERLAY		
PROPOSED REMOVAL OF PUD OVERLAY		
PROPOSED USE	PERMITTED USE	PROPOSED
FAST FOOD RESTAURANT		
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	75,865 SF (1.74 AC)
MAXIMUM BUILDING COVERAGE	75% (56,898 SF)	6.9% (5,304 SF)
MAXIMUM BUILDING HEIGHT	45 FT (4 STORIES)	< 45 FT (4 STORIES)
MINIMUM FRONT YARD SETBACK	25 FT	33.6 FT
MINIMUM SIDE YARD SETBACK	0 FT ⁽¹⁾	186.3 FT
MINIMUM REAR YARD SETBACK	0 FT ⁽¹⁾	46.8 FT
MINIMUM SECTION LINE SETBACK	58 FT	217.4 FT
MAXIMUM WALL HEIGHT IN FRONT YARD SETBACK	4 FT	N/A
MINIMUM DRIVEWAY WIDTH	10 FT	26.0 FT
MAXIMUM DRIVEWAY WIDTH	40 FT	26.0 FT

- (1) § 17.18.050.B&C - NO SIDE OR REAR YARDS ARE REQUIRED UNLESS ABUTTING RESIDENTIAL DISTRICTS
(2) § 17.50.340(C)1 - ON CORNER LOTS AND DOUBLE FRONTAGE LOTS, FENCES SHALL BE ERCTED OR MAINTAINED IN ANY REQUIRED FRONT YARD. ON CORNER LOTS AND DOUBLE FRONTAGE LOTS, FENCES SHALL BE NO MORE THAN 8 FEET IN HEIGHT MAY BE ALLOWED IN A SECOND FRONT YARD WHEN SETBACK A MINIMUM OF 10 FEET FROM THE PROPERTY LINE.

LAND USE AND ZONING (LOT D)		
PID: 2130328002		
CURRENT ZONE: GENERAL COMMERCIAL DISTRICT (GC) WITH PUD OVERLAY		
PROPOSED REMOVAL OF PUD OVERLAY		
PROPOSED USE	PERMITTED USE	PROPOSED
VEHICLE REPAIR ESTABLISHMENT		
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	69,237 SF (1.61 AC)
MAXIMUM BUILDING COVERAGE	75% (51,927 SF)	16.0% (10,119 SF)
MAXIMUM BUILDING HEIGHT	45 FT (4 STORIES)	< 45 FT (4 STORIES)
MINIMUM FRONT YARD SETBACK	25 FT	20.9 FT (W) ⁽²⁾
MINIMUM SIDE YARD SETBACK	0 FT ⁽¹⁾	70.6 FT
MINIMUM REAR YARD SETBACK	0 FT ⁽¹⁾	N/A
MINIMUM SECTION LINE SETBACK	58 FT	58.3 FT
MAXIMUM WALL HEIGHT IN FRONT YARD SETBACK	4 FT	N/A
MINIMUM DRIVEWAY WIDTH	10 FT	26.0 FT
MAXIMUM DRIVEWAY WIDTH	40 FT	26.0 FT

- (1) VIAVER
(2) § 17.18.050.B&C - NO SIDE OR REAR YARDS ARE REQUIRED UNLESS ABUTTING RESIDENTIAL DISTRICTS
(3) § 17.50.340(C)1 - ON CORNER LOTS AND DOUBLE FRONTAGE LOTS, FENCES SHALL BE ERCTED OR MAINTAINED IN ANY REQUIRED FRONT YARD. ON CORNER LOTS AND DOUBLE FRONTAGE LOTS, FENCES SHALL BE NO MORE THAN 8 FEET IN HEIGHT MAY BE ALLOWED IN A SECOND FRONT YARD WHEN SETBACK A MINIMUM OF 10 FEET FROM THE PROPERTY LINE.

LAND USE AND ZONING (LOT B)		
PID: 2130328002		
CURRENT ZONE: GENERAL COMMERCIAL DISTRICT (GC) WITH PUD OVERLAY		
PROPOSED REMOVAL OF PUD OVERLAY		
PROPOSED USE	PERMITTED USE	PROPOSED
FAST FOOD RESTAURANT		
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	24,923 SF (0.57 AC)
MAXIMUM BUILDING COVERAGE	75% (18,692 SF)	9.5% (2,385 SF)
MAXIMUM BUILDING HEIGHT	45 FT (4 STORIES)	< 45 FT (4 STORIES)
MINIMUM FRONT YARD SETBACK	25 FT	133.6 FT
MINIMUM SIDE YARD SETBACK	0 FT ⁽¹⁾	38.5 FT
MINIMUM REAR YARD SETBACK	0 FT ⁽¹⁾	27.8 FT
MINIMUM SECTION LINE SETBACK	58 FT	220.4 FT
MAXIMUM WALL HEIGHT IN FRONT YARD SETBACK	4 FT	3.0 FT
MINIMUM DRIVEWAY WIDTH	10 FT	26.0 FT
MAXIMUM DRIVEWAY WIDTH	40 FT	26.0 FT

- (1) § 17.18.050.B&C - NO SIDE OR REAR YARDS ARE REQUIRED UNLESS ABUTTING RESIDENTIAL DISTRICTS
(2) § 17.50.340(C)1 - ON CORNER LOTS AND DOUBLE FRONTAGE LOTS, FENCES SHALL BE ERCTED OR MAINTAINED IN ANY REQUIRED FRONT YARD. ON CORNER LOTS AND DOUBLE FRONTAGE LOTS, FENCES SHALL BE NO MORE THAN 8 FEET IN HEIGHT MAY BE ALLOWED IN A SECOND FRONT YARD WHEN SETBACK A MINIMUM OF 10 FEET FROM THE PROPERTY LINE.

LAND USE AND ZONING (LOT E)		
PID: 2130328002		
CURRENT ZONE: GENERAL COMMERCIAL DISTRICT (GC) WITH PUD OVERLAY		
PROPOSED REMOVAL OF PUD OVERLAY		
PROPOSED USE	PERMITTED USE	PROPOSED
FAST FOOD RESTAURANT		
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	67,881 SF (1.58 AC)
MAXIMUM BUILDING COVERAGE	75% (50,910 SF)	3.9% (2,700 SF)
MAXIMUM BUILDING HEIGHT	45 FT (4 STORIES)	< 45 FT (4 STORIES)
MINIMUM FRONT YARD SETBACK	25 FT	71.9 FT
MINIMUM SIDE YARD SETBACK	0 FT ⁽¹⁾	9.5 FT
MINIMUM REAR YARD SETBACK	0 FT ⁽¹⁾	N/A
MINIMUM SECTION LINE SETBACK	58 FT	103.1 FT
MAXIMUM WALL HEIGHT IN FRONT YARD SETBACK	4 FT	4.0 FT
MINIMUM DRIVEWAY WIDTH	10 FT	26.0 FT
MAXIMUM DRIVEWAY WIDTH	40 FT	26.0 FT

- (1) § 17.18.050.B&C - NO SIDE OR REAR YARDS ARE REQUIRED UNLESS ABUTTING RESIDENTIAL DISTRICTS
(2) § 17.50.340(C)1 - ON CORNER LOTS AND DOUBLE FRONTAGE LOTS, FENCES SHALL BE ERCTED OR MAINTAINED IN ANY REQUIRED FRONT YARD. ON CORNER LOTS AND DOUBLE FRONTAGE LOTS, FENCES SHALL BE NO MORE THAN 8 FEET IN HEIGHT MAY BE ALLOWED IN A SECOND FRONT YARD WHEN SETBACK A MINIMUM OF 10 FEET FROM THE PROPERTY LINE.

LAND USE AND ZONING (LOT C)		
PID: 2130328002		
CURRENT ZONE: GENERAL COMMERCIAL DISTRICT (GC) WITH PUD OVERLAY		
PROPOSED REMOVAL OF PUD OVERLAY		
PROPOSED USE	PERMITTED USE	PROPOSED
FAST FOOD RESTAURANT		
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	62,069 SF (1.43 AC)
MAXIMUM BUILDING COVERAGE	75% (46,551 SF)	4.7% (2,927 SF)
MAXIMUM BUILDING HEIGHT	45 FT (4 STORIES)	< 45 FT (4 STORIES)
MINIMUM FRONT YARD SETBACK	25 FT	45.3 FT
MINIMUM SIDE YARD SETBACK	0 FT ⁽¹⁾	29.1 FT
MINIMUM REAR YARD SETBACK	0 FT ⁽¹⁾	N/A
MINIMUM SECTION LINE SETBACK	58 FT	255.1 FT
MAXIMUM WALL HEIGHT IN FRONT YARD SETBACK	4 FT	N/A
MINIMUM DRIVEWAY WIDTH	10 FT	26.0 FT
MAXIMUM DRIVEWAY WIDTH	40 FT	26.0 FT

- (1) § 17.18.050.B&C - NO SIDE OR REAR YARDS ARE REQUIRED UNLESS ABUTTING RESIDENTIAL DISTRICTS
(2) § 17.50.340(C)1 - ON CORNER LOTS AND DOUBLE FRONTAGE LOTS, FENCES SHALL BE ERCTED OR MAINTAINED IN ANY REQUIRED FRONT YARD. ON CORNER LOTS AND DOUBLE FRONTAGE LOTS, FENCES SHALL BE NO MORE THAN 8 FEET IN HEIGHT MAY BE ALLOWED IN A SECOND FRONT YARD WHEN SETBACK A MINIMUM OF 10 FEET FROM THE PROPERTY LINE.

SYMBOL

DESCRIPTION

PROPERTY LINE

SETBACK LINE

PROPOSED CURB

PROPOSED FLUSH CURB

PROPOSED SIGNS / BOLLARDS

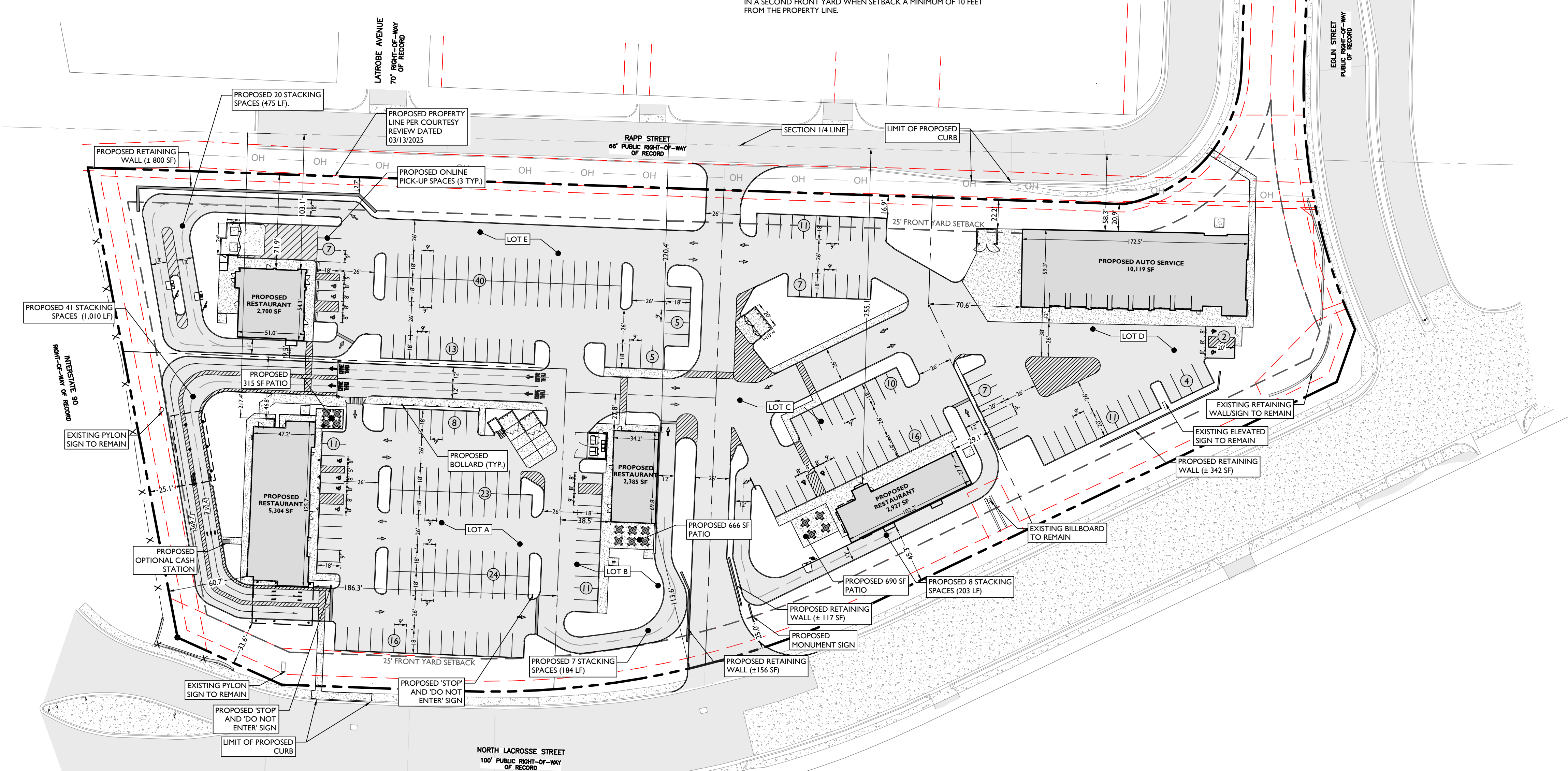
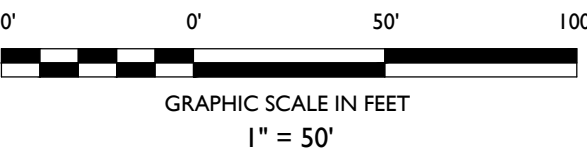
PROPOSED BUILDING

PROPOSED CONCRETE

PROPOSED RETAINING WALL

PROPOSED BUILDING DOORS

- GENERAL NOTES
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



NOTES: 250501-250509, ARIUS, GFA - 1902 N LACROSSE STREET, RAPID CITY, SD 57701-0100, DET-250076

SITE DEVELOPMENT PLANS

PROPOSED COMMERCIAL DEVELOPMENT

STONEFIELD engineering & design

SCALE: 1" = 50'

PROJECT ID: DET-250076

TITLE: OVERALL SITE PLAN

DRAWING: C-3

PID: 2130328002

1902 N LACROSSE STREET

RAPID CITY

PENNINGTON COUNTY, SOUTH DAKOTA, 57701

NOT APPROVED FOR CONSTRUCTION

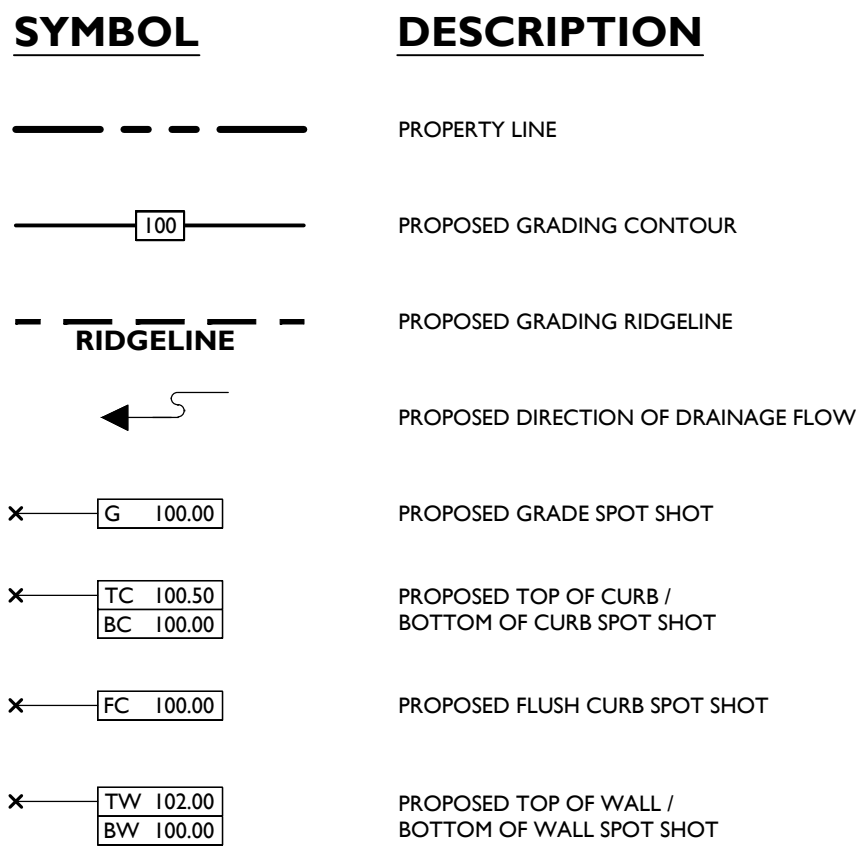
DATE: 06/12/2025

BY: MAM/HAF

ISSUE: 1

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009

Phone 248.247.1115

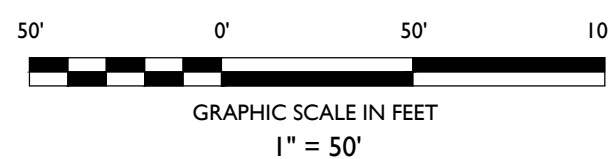


GRADING NOTES

1. ALL SOILS AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES. INCLUDING, BUT NOT LIMITED TO, UTILITY TRENCHES. ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - a. CURB GUTTER: 0.50%
 - b. CONCRETE SURFACES: 1.00%
 - c. ASPHALT SURFACES: 1.00%
6. MINIMUM SLOPE 1.00% SHALL BE PROVIDED AROUND FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE EXCAVATION, THE CONTRACTOR SHALL OBTAIN A PROFESSIONAL ENGINEER'S CONSULTATION AND RECOMMENDATION FOR THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED TO THE PUBLIC SEWER SYSTEM. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

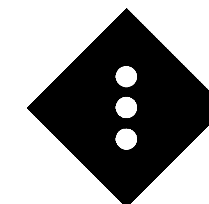
ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING SPACES IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 0.33% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE INDICATED ACCESSIBLE PATH OF TRAVEL IS NOT LESS THAN 60 INCHES WIDE OR GREATER UNLESS OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS, LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A CURB RAMP AND AT THE TOP OF THE CURB RAMP FOR THE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 0.83% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 100% IF A CURB RAMP FLARE IS PROVIDED. IF NO CURB RAMP FLARE IS PROVIDED FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMP SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL COMPLY COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP. THE RAMP SHALL NOT BE USED AS A WALKWAY. THE RAMP SHALL HAVE A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH OF TRAVEL.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, THE SURFACE SHALL BE SLOPED TO A MAXIMUM OF 1/4 INCHES PER LEVEL. IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR CRACKS) SHALL BE FILLERED TO THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.

[illegible]

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**RAPID CITY
PENNINGTON COUNTY, SOUTH DAKOTA, 57701**

SITE DEVELOPMENT PLANS

PROPOSED COMMERCIAL DEVELOPMENT



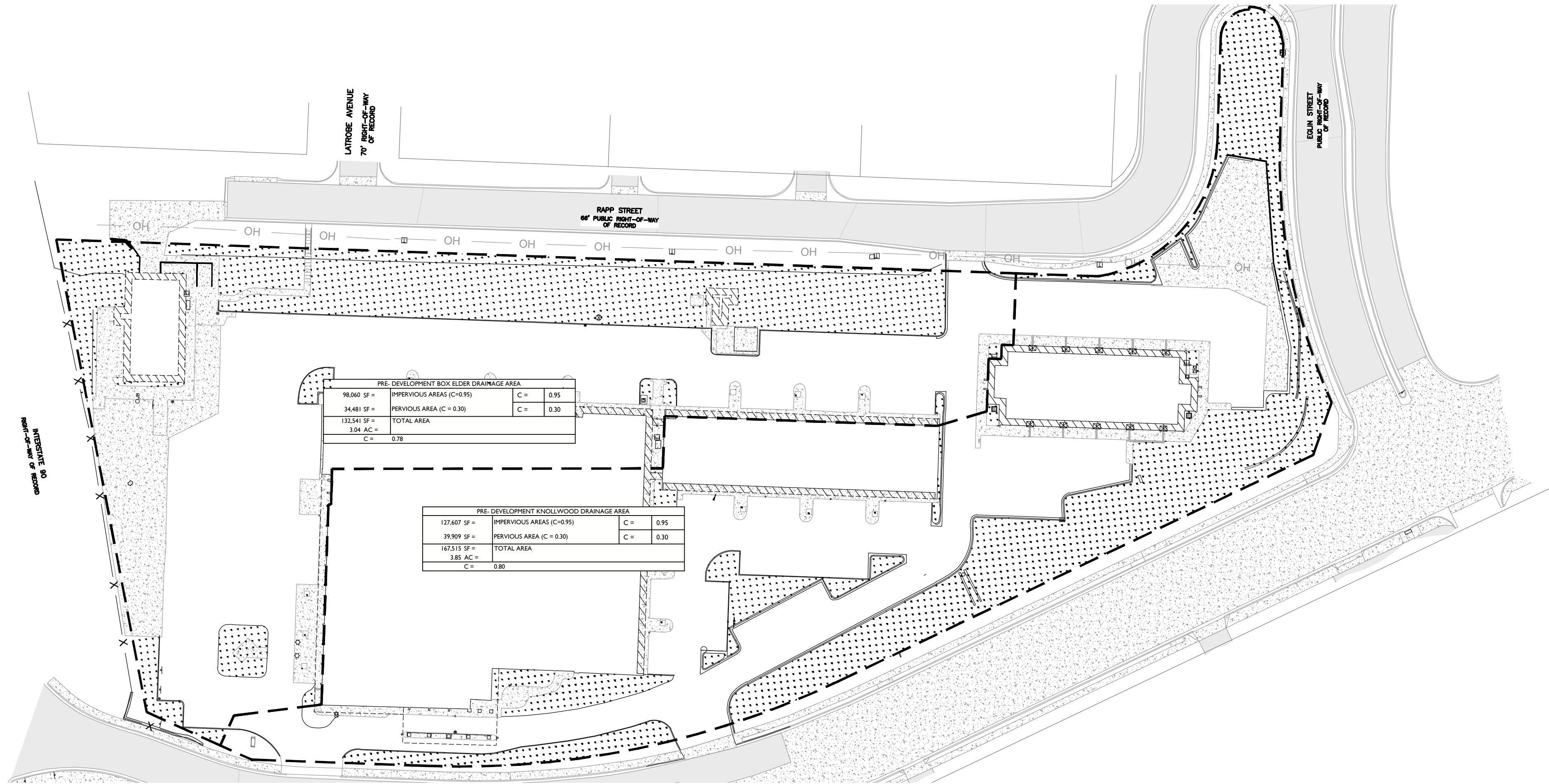
SCALE:	1" = 50'	PROJECT ID: DET-250076
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TITLE:

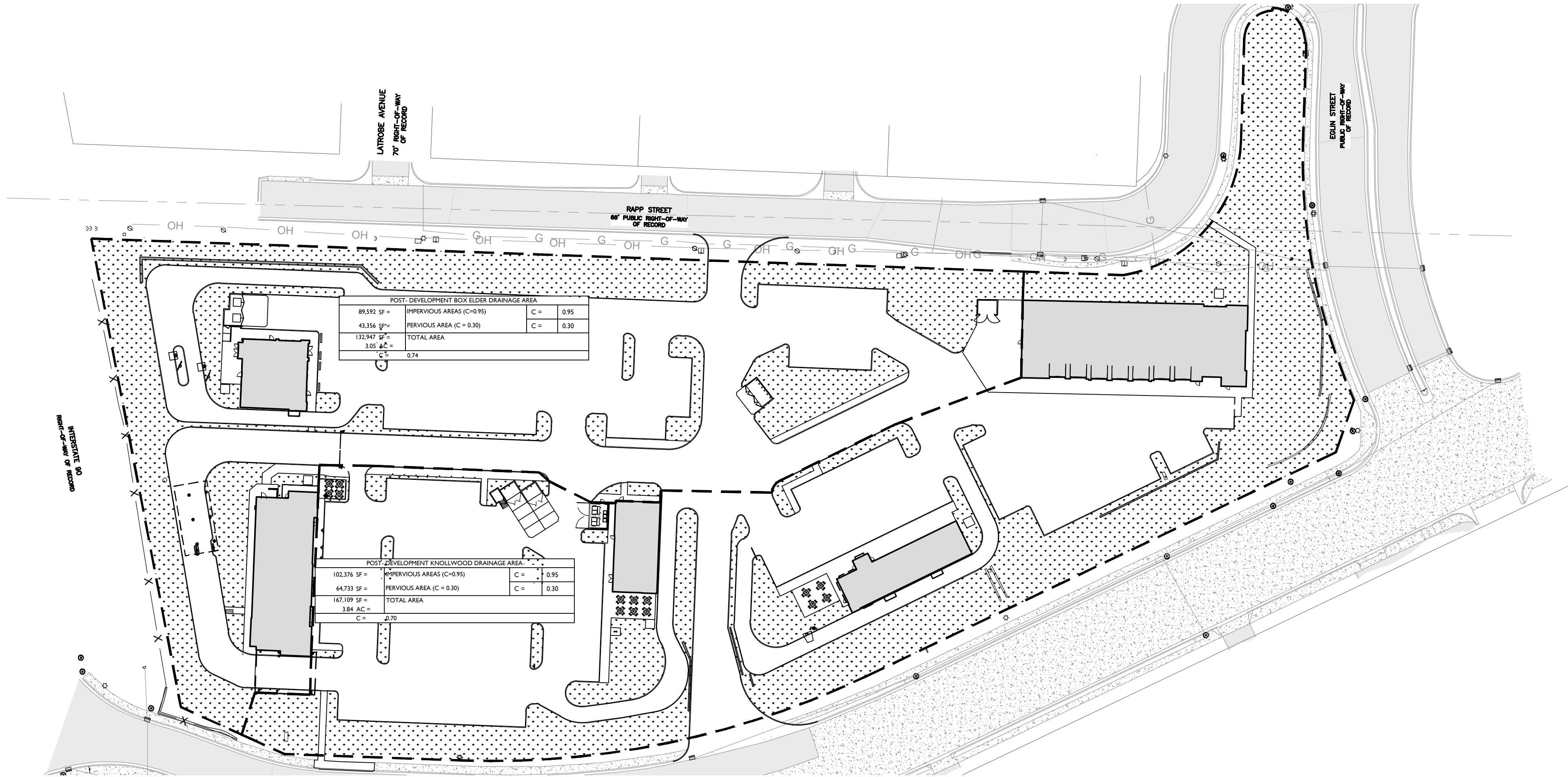
OVERALL GRADING AND STORMWATER PLAN

DRAWING

C-4

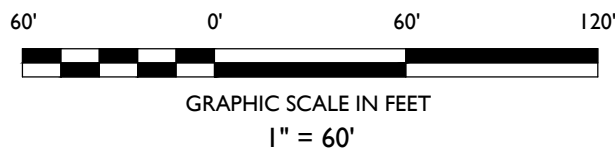


PRE-DEVELOPMENT CONDITIONS



POST-DEVELOPMENT CONDITIONS

SYMBOL	DESCRIPTION
	DRAINAGE AREA LIMIT
	PERVIOUS AREA



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SITE DEVELOPMENT PLANS

PROPOSED COMMERCIAL DEVELOPMENT

PID: 2130328002
1902 N LACROSSE STREET
RAPID CITY
PENNINGTON COUNTY, SOUTH DAKOTA, 57701



SCALE: 1" = 60' PROJECT ID: DET-250076

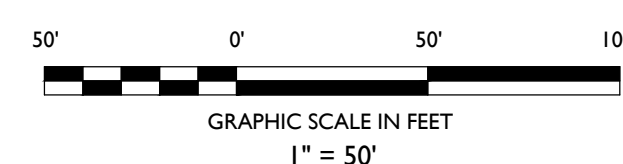
TITLE:
PRE VS POST
IMPERVIOUS SURFACE
PLAN

DRAWING:

C-5



- DRAINAGE AND UTILITY NOTES**
1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION (NOC) AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO MARK THE HORIZONTAL LOCATION OF ALL UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, INC. IMMEDIATELY BY E-MAIL. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
 2. THE CONTRACTOR IS REQUIRED TO MAINTAIN A MINIMUM SEPARATION OF ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
 3. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER, SEWER AND ANY WATER LINES. THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 4. A MINIMUM HORIZONTAL SEPARATION OF 18 INCHES BETWEEN SANITARY SEWER LINES SHALL BE PROVIDED. IF A MINIMUM SEPARATION SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES, IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 5. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF ALL EXISTING UTILITY LOCATIONS TO IDENTIFY ANY SEWER CONNECTION IMPROVEMENTS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, INC.
 6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
 7. THE CONTRACTOR SHALL MAINTAIN PROTECTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
 8. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF FIELD LOCATIONS OF ALL UTILITIES IDENTIFIED TO REMAIN. IF ANY HAVE BEEN CAPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES PERFORMED IN THIS PLAN SET, THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
 9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

[illegible]

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SITE DEVELOPMENT PLANS

PROPOSED COMMERCIAL
DEVELOPMENT



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SCALE:	1" = 50'	PROJECT ID: DET-250076
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TITLE:

UTILITY PLAN

DRAWING:

C-6

PROPOSED LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER
	A	3	EATON LUMARK PREVAIL AND FIXTURE COMBO AREA LIGHT - SINGLE WITH HOUSE SIDE SHIELD - 13,000 LUMENS	TYPE IV	0.9	EATON
	B	6	EATON LUMARK PREVAIL AND FIXTURE COMBO AREA LIGHT - SINGLE WITH HOUSE SIDE SHIELD - 13,000 LUMENS	TYPE II	0.9	EATON
	C	2	EATON LUMARK PREVAIL AND FIXTURE COMBO AREA LIGHT - QUAD - 13,000 LUMENS	TYPE IV	0.9	EATON
	D	4	EATON XTOR CROSSTOUR MAXX LED WALLPARK - 6,200 LUMENS	TYPE FT	0.9	EATON
	E	12	C-LITE LED SQUARE CANOPY LIGHT - 7,900 LUMENS	N/A	0.9	C-LITE
						IES FILE
						PRV-C25-D-UNV-T4-BZ-7030-HSS.ies
						PRV-C25-D-UNV-T2-BZ-7030-HSS.ies
						PRV-C25-D-UNV-T4-BZ-7030.ies
						XTOR6BR.Lies
						C-CP-A-SQ-79L.ies

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 17.50.30	ALL LIGHTING SHALL BE SHIELDED FROM ADJACENT RESIDENTIAL DISTRICTS AND PUBLIC RIGHTS-OF-WAY	PROVIDED

LIGHTING STATISTICS			
DESCRIPTION	AVERAGE	MINIMUM	MAXIMUM
OVERALL PARCEL	0.22 FC	0.00 FC	28.2 FC
OVERALL PROPERTY LINE	0.03 FC	0.00 FC	0.40 FC



FIXTURES A-C



FIXTURE D



FIXTURE E



SYMBOL

A (XX')

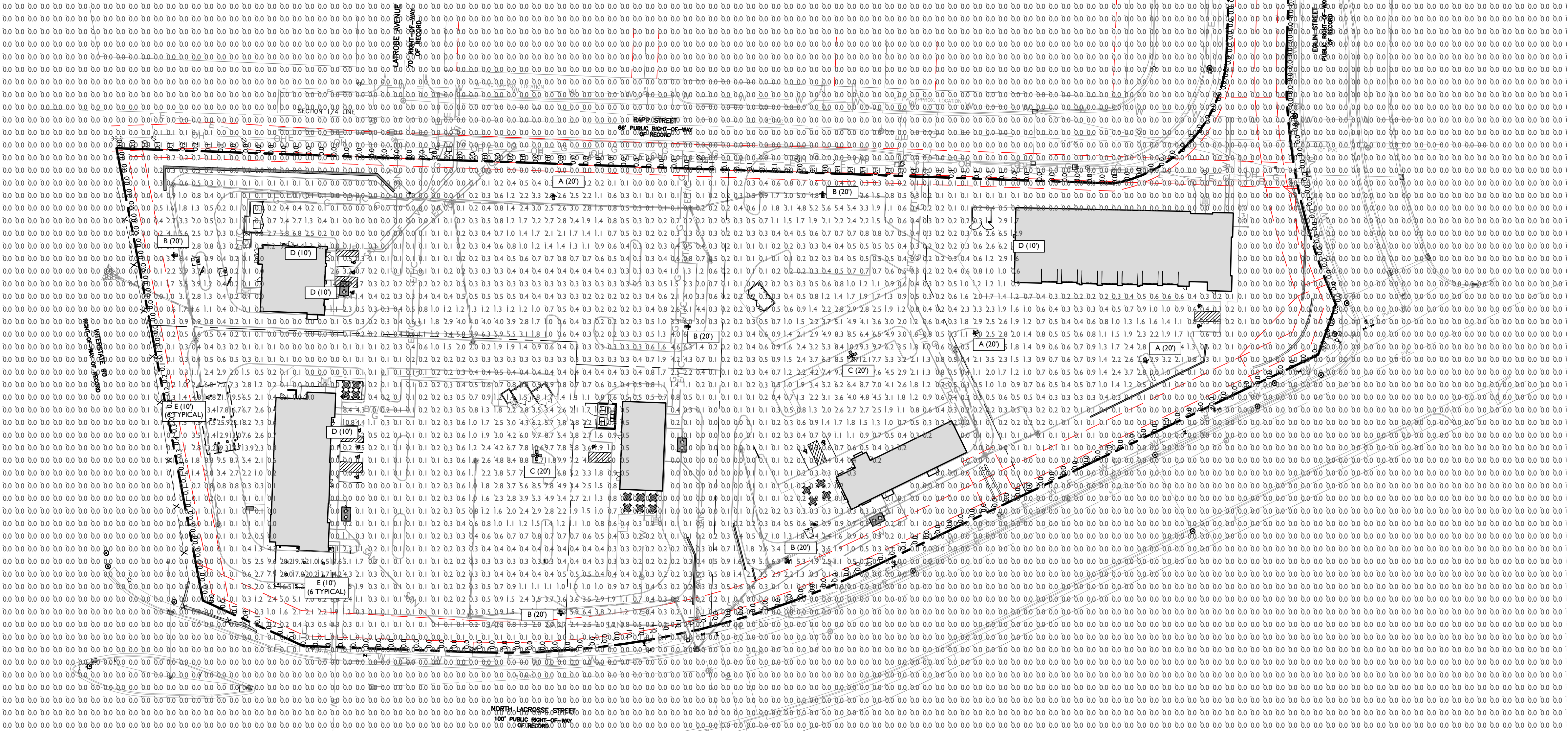
+XX

DESCRIPTION

PROPOSED ISOMETRIC LINE

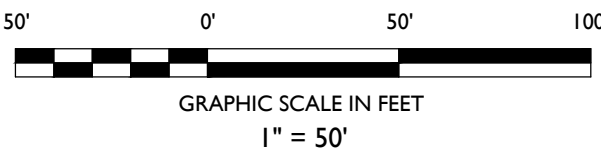
PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)

PROPOSED LIGHTING INTENSITY (FOOT CANDLES)



GENERAL LIGHTING NOTES

1. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



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**PROPOSED COMMERCIAL
DEVELOPMENT**

PID: 2130328002
1902 N LACROSSE STREET
PENNINGTON COUNTY, SOUTH DAKOTA, 57701



STONEFIELD
engineering & design

SCALE: 1" = 50' PROJECT ID: DET-250076

TITLE:

LIGHTING PLAN

DRAWING:

C-7

LANDSCAPING MATERIAL POINTS TABLE (LOT A)					
DEVELOPED AREA = 49,841 SF = 49,841 REQUIRED POINTS					
CODE SECTION	CATEGORY	POINTS	QUANTITY PROPOSED	POINTS PROPOSED	
§ 17.50.300.E.2.c.	LARGE TREES	2,000 POINTS FOR EVERY 1 TREE	8 TREES	(8 TREES) * (2,000 PTS) = 16,000 POINTS	
	MEDIUM TREES	1,000 POINTS FOR EVERY 1 TREE	2 TREES	(2 TREES) * (1,000 PTS) = 2,000 POINTS	
	SMALL TREES	500 POINTS FOR EVERY 1 TREE	0 TREES	(0 TREES) * (500 PTS) = 0 POINTS	
	OPAQUE HEDGE	500 POINTS FOR EVERY 15 LF	0 LF	(0 LF) * (500 PTS / 15 LF) = 0 POINTS	
	SHRUBS	250 POINTS FOR EVERY 1 SHRUB	47 SHRUBS	(47 SHRUBS) * (250 PTS) = 11,750 POINTS	
	GROUND COVER	100 POINTS FOR EVERY 1 SQ YD	0 SQ YD	(0 SQ YD) * (100 PTS) = 0 POINTS	
	GRASS	10 POINTS FOR EVERY 1 SQ YD	2,196 SQ YD	(2,196 SQ YD) * (10 PTS) = 21,960 POINTS	
TOTAL POINTS PROPOSED:				51,710 POINTS	

LANDSCAPING MATERIAL POINTS TABLE (LOT B)					
DEVELOPED AREA = 14,939 SF = 14,939 REQUIRED POINTS					
CODE SECTION	CATEGORY	POINTS	QUANTITY PROPOSED	POINTS PROPOSED	
§ 17.50.300.E.2.c.	LARGE TREES	2,000 POINTS FOR EVERY 1 TREE	2 TREES	(2 TREES) * (2,000 PTS) = 4,000 POINTS	
	MEDIUM TREES	1,000 POINTS FOR EVERY 1 TREE	1 TREE	(1 TREE) * (1,000 PTS) = 1,000 POINTS	
	SMALL TREES	500 POINTS FOR EVERY 1 TREE	0 TREES	(0 TREES) * (500 PTS) = 0 POINTS	
	OPAQUE HEDGE	500 POINTS FOR EVERY 15 LF	0 LF	(0 LF) * (500 PTS / 15 LF) = 0 POINTS	
	SHRUBS	250 POINTS FOR EVERY 1 SHRUB	9 SHRUBS	(9 SHRUBS) * (250 PTS) = 2,250 POINTS	
	GROUND COVER	100 POINTS FOR EVERY 1 SQ YD	0 SQ YD	(0 SQ YD) * (100 PTS) = 0 POINTS	
	GRASS	10 POINTS FOR EVERY 1 SQ YD	825 SQ YD	(825 SQ YD) * (10 PTS) = 8,250 POINTS	
TOTAL POINTS PROPOSED:				15,500 POINTS	

LANDSCAPING MATERIAL POINTS TABLE (LOT C)					
DEVELOPED AREA = 38,265 SF = 38,265 REQUIRED POINTS					
CODE SECTION	CATEGORY	POINTS	QUANTITY PROPOSED	POINTS PROPOSED	
§ 17.50.300.E.2.c.	LARGE TREES	2,000 POINTS FOR EVERY 1 TREE	10 TREES	(10 TREES) * (2,000 PTS) = 20,000 POINTS	
	MEDIUM TREES	1,000 POINTS FOR EVERY 1 TREE	0 TREES	(0 TREES) * (1,000 PTS) = 0 POINTS	
	SMALL TREES	500 POINTS FOR EVERY 1 TREE	0 TREES	(0 TREES) * (500 PTS) = 0 POINTS	
	OPAQUE HEDGE	500 POINTS FOR EVERY 15 LF	0 LF	(0 LF) * (500 PTS / 15 LF) = 0 POINTS	
	SHRUBS	250 POINTS FOR EVERY 1 SHRUB	47 SHRUBS	(47 SHRUBS) * (250 PTS) = 11,750 POINTS	
	GROUND COVER	100 POINTS FOR EVERY 1 SQ YD	0 SQ YD	(0 SQ YD) * (100 PTS) = 0 POINTS	
	GRASS	10 POINTS FOR EVERY 1 SQ YD	2,231 SQ YD	(2,231 SQ YD) * (10 PTS) = 22,310 POINTS	
TOTAL POINTS PROPOSED:				54,060 POINTS	

LANDSCAPING MATERIAL POINTS TABLE (LOT D)					
DEVELOPED AREA = 21,936 SF = 21,936 REQUIRED POINTS					
CODE SECTION	CATEGORY	POINTS	QUANTITY PROPOSED	POINTS PROPOSED	
§ 17.50.300.E.2.c.	LARGE TREES	2,000 POINTS FOR EVERY 1 TREE	5 TREES	(5 TREES) * (2,000 PTS) = 10,000 POINTS	
	MEDIUM TREES	1,000 POINTS FOR EVERY 1 TREE	0 TREES	(0 TREES) * (1,000 PTS) = 0 POINTS	
	SMALL TREES	500 POINTS FOR EVERY 1 TREE	0 TREES	(0 TREES) * (500 PTS) = 0 POINTS	
	OPAQUE HEDGE	500 POINTS FOR EVERY 15 LF	0 LF	(0 LF) * (500 PTS / 15 LF) = 0 POINTS	
	SHRUBS	250 POINTS FOR EVERY 1 SHRUB	61 SHRUBS	(61 SHRUBS) * (250 PTS) = 15,250 POINTS	
	GROUND COVER	100 POINTS FOR EVERY 1 SQ YD	0 SQ YD	(0 SQ YD) * (100 PTS) = 0 POINTS	
	GRASS	10 POINTS FOR EVERY 1 SQ YD	4,101 SQ YD	(4,101 SQ YD) * (10 PTS) = 41,010 POINTS	
TOTAL POINTS PROPOSED:				66,260 POINTS	

LANDSCAPING MATERIAL POINTS TABLE (LOT E)					
DEVELOPED AREA = 42,900 SF = 42,900 REQUIRED POINTS					
CODE SECTION	CATEGORY	POINTS	QUANTITY PROPOSED	POINTS PROPOSED	
§ 17.50.300 E.2.c.	LARGE TREES	2,000 POINTS FOR EVERY 1 TREE	8 TREES	(8 TREES) * (2,000 PTS) = 16,000 POINTS	
	MEDIUM TREES	1,000 POINTS FOR EVERY 1 TREE	2 TREES	(2 TREES) * (1,000 PTS) = 2,000 POINTS	
	SMALL TREES	500 POINTS FOR EVERY 1 TREE	0 TREES	(0 TREES) * (500 PTS) = 0 POINTS	
	OPAQUE HEDGE	500 POINTS FOR EVERY 15 LF	0 LF	(0 LF) * (500 PTS / 15 LF) = 0 POINTS	
	SHRUBS	250 POINTS FOR EVERY 1 SHRUB	13 SHRUBS	(13 SHRUBS) * (250 PTS) = 3,250 POINTS	
	GROUND COVER	100 POINTS FOR EVERY 1 SQ YD	0 SQ YD	(0 SQ YD) * (100 PTS) = 0 POINTS	
	GRASS	10 POINTS FOR EVERY 1 SQ YD	2,410 SQ YD	(2,410 SQ YD) * (10 PTS) = 24,100 POINTS	
TOTAL POINTS PROPOSED:				45,350 POINTS	

LANDSCAPING REQUIREMENTS (LOTS A-E)		
CODE SECTION	REQUIRED	PROPOSED
§ 17.50.300.E.1.a.	LANDSCAPING 50% OF REQUIRED LANDSCAPING SHALL BE LOCATED IN WITHIN 20 FT OF THE PARKING LOT	LOT A: COMPLIES LOT B: COMPLIES LOT C: COMPLIES LOT D: COMPLIES LOT E: COMPLIES
§ 17.50.300.E.1.c.	PARKING LOT LANDSCAPING PLANTER ISLANDS REQUIRED 1 FOR EVERY 50 SPACES LOT A: (82 SPACES) * (1 ISLAND / 50 SPACES) = 2 ISLANDS LOT B: (11 SPACES) * (1 ISLAND / 50 SPACES) = 1 ISLAND LOT C: (44 SPACES) * (1 ISLAND / 50 SPACES) = 1 ISLAND LOT D: (22 SPACES) * (1 ISLAND / 50 SPACES) = 1 ISLAND LOT E: (70 SPACES) * (1 ISLAND / 50 SPACES) = 1 ISLAND MINIMUM AREA: 100 SF	2 ISLANDS 1 ISLAND 1 ISLAND 1 ISLAND 1 ISLAND LOT A: COMPLIES LOT B: COMPLIES LOT C: COMPLIES LOT D: COMPLIES LOT E: COMPLIES
§ 17.50.300.G.1.b.	1 TREE & SHRUBS/GROUND COVER REQUIRED THE PARKING LOT SHALL BE SCREENED WITH SHRUBS OR OTHER BARRIERS	LOT A: DOES NOT COMPLY (W) LOT B: COMPLIES LOT C: COMPLIES LOT D: COMPLIES LOT E: COMPLIES

(W) WAIVER

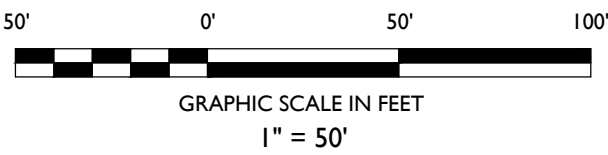
SYMBOL	DESCRIPTION
	PROPOSED LAWN AREAS



Know what's below
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IRRIGATION NOTE:
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

- LANDSCAPING NOTES**
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
 - THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
 - THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
 - THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



SITE DEVELOPMENT PLANS		DESCRIPTION	
	MAN/HA/AF	BY	
	06/12/2025	DATE	
	1	ISSUE	

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SITE DEVELOPMENT PLANS
**PROPOSED COMMERCIAL
DEVELOPMENT**

PID: 2130328002
1902 N LACROSSE STREET
RAPID CITY
PENNINGTON COUNTY, SOUTH DAKOTA, 57701

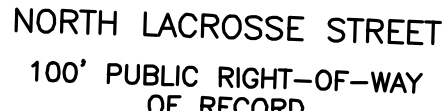


SCALE: 1" = 50' PROJECT ID: DET-250076

TITLE:
**LANDSCAPING PLAN
(OVERALL)**

DRAWING:

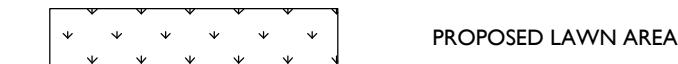
C-8



NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

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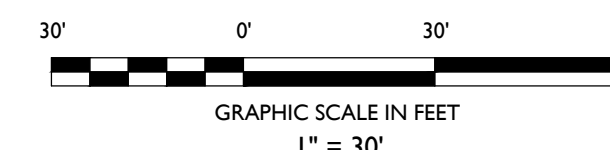


IRRIGATION NOTE

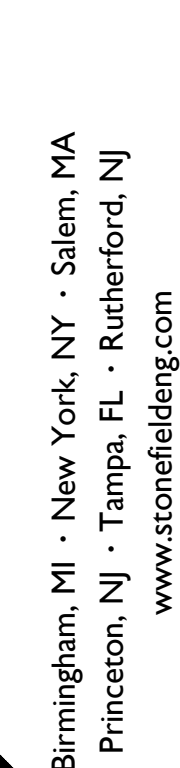
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LANDSCAPING NOTES:

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS TO A MINIMUM 4 INCH DEPTH OF TOP SOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION SHALL BE 1:1 HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL MARK ALL SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LAWN AND AREAS BE REDEEMED TO MEET OR EXCEED THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABUTT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



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Phone 248.247.1115

SITE DEVELOPMENT PLANS

PROPOSED COMMERCIAL DEVELOPMENT



SCALE:	1" = 30'	PROJECT ID: DET-250076
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TITLE:

**LANDSCAPING PLAN
(LOTS A, B & E)**

DRAWING

C-8.1



PLANT SCHEDULE (LOT C)						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
LARGE DECIDUOUS TREES						
	GLE	3	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	1.5" - 2" CAL	B&B
	QUE	1	QUERCUS MACROCARPA	BURR OAK	1.5" - 2" CAL	B&B
	TIL	2	TILIA AMERICANA	AMERICAN LINDEN	1.5" - 2" CAL	B&B
LARGE EVERGREEN TREES						
	PIC	5	PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES COLORADO BLUE SPRUCE	5' - 6' HT	B&B
SHRUBS						
	ABD	12	ARONIA MELANOCARPA 'CONNAMI166'	LOW SCAPE HEDGER BLACK CHOKEBERRY	24" - 30"	POT
	COR	12	CORNUS SERICEA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	24" - 30"	POT
	VIB	9	VIBURNUM TRILOBUM 'NANUM'	DWARF CRANBERRYBUSH VIBURNUM	24" - 30"	POT
EVERGREEN SHRUBS						
	JCO	14	JUNIPERUS COMMUNIS 'COMPRESSA'	PYRAMIDAL COMMON JUNIPER	24" - 30"	POT

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PLANT SCHEDULE (LOT D)						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
LARGE DECIDUOUS TREES						
	GLE	1	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	1.5" - 2" CAL	B&B
	QUE	2	QUERCUS MACROCARPA	BURR OAK	1.5" - 2" CAL	B&B
	TIL	1	TILIA AMERICANA	AMERICAN LINDEN	1.5" - 2" CAL	B&B
LARGE EVERGREEN TREES						
	PIC	3	PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES COLORADO BLUE SPRUCE	5' - 6' HT	B&B
SHRUBS						
	ABD	15	ARONIA MELANOCARPA 'CONNAMI166'	LOW SCAPE HEDGER BLACK CHOKEBERRY	24" - 30"	POT
	COR	18	CORNUS SERICEA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	24" - 30"	POT
	VIB	15	VIBURNUM TRILOBUM 'NANUM'	DWARF CRANBERRYBUSH VIBURNUM	24" - 30"	POT
EVERGREEN SHRUBS						
	JCO	13	JUNIPERUS COMMUNIS 'COMPRESSA'	PYRAMIDAL COMMON JUNIPER	24" - 30"	POT

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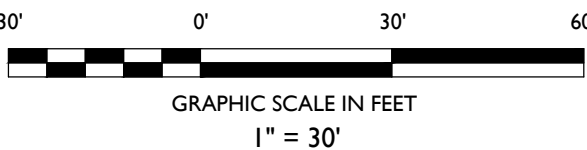
SYMBOL	DESCRIPTION
	PROPOSED LAWN AREAS



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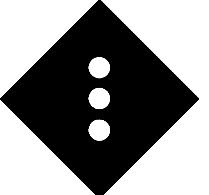
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SITE DEVELOPMENT PLANS		DESCRIPTION
DATE	BY	
06/12/2025	MANH/AF	
1		ISSUE

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SITE DEVELOPMENT PLANS

**PROPOSED COMMERCIAL
DEVELOPMENT**

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RAPID CITY
PENNINGTON COUNTY, SOUTH DAKOTA, 57701





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SCALE: 1" = 30' PROJECT ID: DET-250076

TITLE:
**LANDSCAPING PLAN
(LOTS C & D)**

DRAWING:
C-8.2

